



WAIMAKARIRI
DISTRICT COUNCIL

AS BUILT TRUSS LAYOUT REQUIRED –

This must be received by the Building Unit
AT LEAST 10 WORKING DAYS PRIOR to the
Structure Pre-Roof Pre-Wrap Inspection

Truss “As-Built” Designs may be sent to:
buildinginfo@wmk.govt.nz

BC No: 200253

SITE DETAILS:

24 AWATERE STREET

PEGASUS

LEGAL:

LOT 1460 DP 479470

APPROVED BUILDING CONSENT DOCUMENTS AND PLANS
(FULL SET SUPPLIED)

- ON SITE COPY -

- These plans and specifications must be kept on site during construction, and made available to the building officer on request. Failure to do so will mean an automatic failure of the building inspection and will necessitate re-booking the inspection at the applicant's expense.
- All boundary survey pegs must be located and flagged by the owner before work is commenced.

INSPECTIONS

for bookings or building enquiries

please phone the BUILDING UNIT on:

03 3118906

or

Email inspection bookings to: bcbooking@wmk.govt.nz

- Please refer to your inspection schedule for details of inspections to be carried out.
- 2-3 working day's notice should be given and provision made to allow access.
- The Code Compliance Certificate will be issued once the:
 - Final inspection has been carried out and passed
 - Audit of WDC building consent file has been completed
 - Payment of any outstanding invoices is received

General Notes:

1. Foundation drawings shall be read in conjunction with the geotechnical report and the building consent drawings and specifications by any other consultants involved in the building consent.
2. Unless otherwise noted, all levels are in meters, and all dimensions are in millimeters. and shall be checked by contractor prior to construction.
3. Dimensions shall not be obtained by scaling from drawings. Refer to architects drawings for all setout dimensions, recesses and service positions. Internal slab thickenings and pad foundations to be accurately set out using the Architects drawings
4. All discrepancies shall be referred to the architect or engineer for resolution before proceeding with the work.
5. The stability of the structure during construction is the responsibility of the builder.
6. All materials and workmanship shall be in accordance with the current codes of practice except where varied by the specification and/or drawings.
7. Where proprietary products are specified in the documents the contractor may submit an alternative product for approval.
8. Temporary work and propping is the responsibility of the builder.
9. Concrete slabs should be cured for 7 days in accordance with NZS3109. Saw cuts are recommended to mitigate shrinkage cracking. Saw cuts can be omitted providing the contractor takes appropriate measures and is responsible for controlling shrinkage.

Site soil conditions:

- A. Allowable bearing pressure = 100kPa
- B. Dependable bearing pressure = 150kPa
- C. Geotechnical ultimate bearing = 300kpa

- D. Subgrade (if required) to be prepared as per geotechnical report or compacted to 95% of maximum dry density determined by test NZS 4402: Test 4.1.1. or equivalent unless noted otherwise.

Cover & Strength:

Cast against DPM = 50mm
Within Ribs: Side cover = 40mm
Cast against ground = 75mm
Foundations and slab to be 25MPa (min)
Refer Mix Code below

Surface Finishes: (NZS 3114:1987)

Concealed work = F1
Exposed edges of foundation = F5
Floor slab = U3

CONCRETE AND REINFORCING MESH SUMMARY

**MESH OPTIONS - 146.1 mm²/m, 2.29 kg/m² or greater,
Mesh SE62 (Grade 500E as per AS/NZS4671),
Concrete - Allied Super Slab
Use mix code 252RSS**



NOTE 1: Site excavation (Indicative only)
±300 topsoil & unsuitable material should be removed from building platform. Certified compacted hard fill (well graded AP40) extending 200mm (or the depth of the hardfill which ever is greater) out from building footprint may be required to bring slab up to level. The depth of hardfill or engineered fill required will need to be confirmed on site accounting for the FFL, existing ground levels and topsoil/unsuitable soil depths found on site. Refer to the geotechnical report for subsoil conditions. Poorly graded river gravels (tailings or 20/40 rounded river stone) that have commonly been used in Christchurch as subgrade material shall not be used.

NOTE 2: Inspection Schedule notes

Contact Inspecting engineer as below for the following inspections to enable a PS4 to be issued for construction review. It is the responsibility of contractor to arrange below inspections
Phone no: (03) 339 7000.

1. Cut platform inspection
2. Pre pour inspection and any other structural items if applicable to this consent.
Please allow 48hrs notice to ensure availability of the inspecting engineer.
Refer to inspection schedule attached with PS1 for a full list of required inspections.

To book a site inspection please visit <https://meetme.so/HFCInspections>

NOTE 3: Bridging note

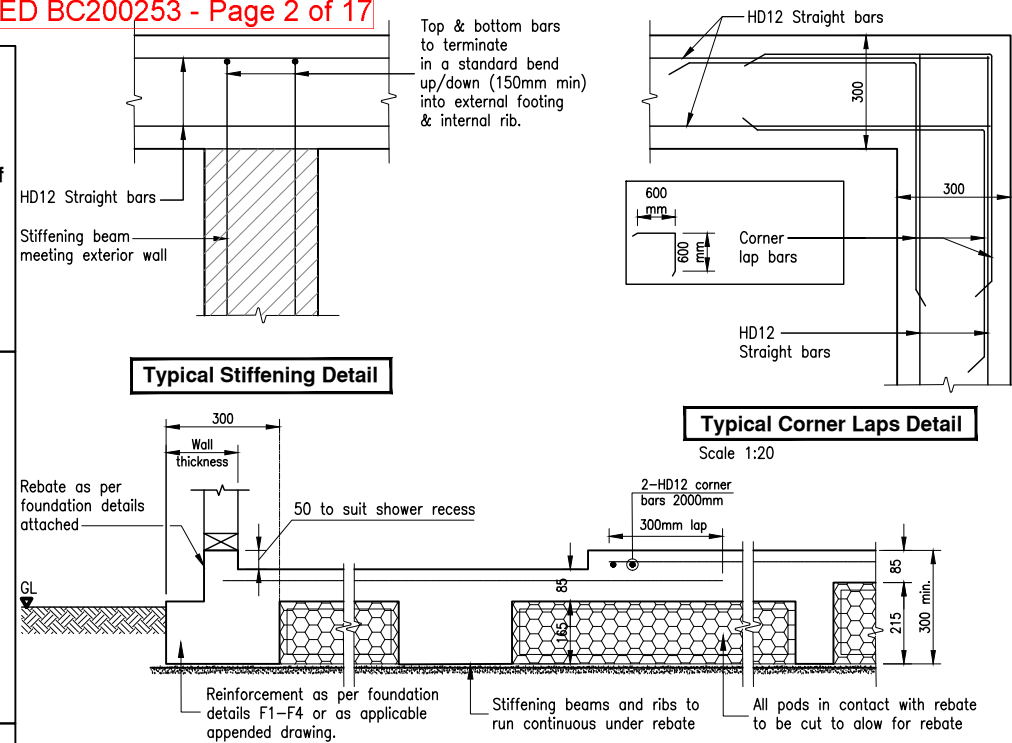
Bridging of public services has not been allowed for unless indicated on the foundation layout (refer S100).

No construction is permitted within a 45 degree line of influence from 500mm below the pipe invert (or as per geotechnical or council requirements). Minimum proximity and pile embedment's as per local council and government standards need to be followed when constructing in this zone.

HFC and the architect should be notified for specific bridging design if applicable.

Reinforcing:

SYMBOL	TYPE			
R	Plain bars grade 300E to NZS 4671 (300 MPa)			
D	Deformed bars grade 300E to NZS 4671 (300 MPa)			
HR	Plain bars grade 500E to NZS 4671 (500 MPa)			
HD	Deformed bars grade 500E to NZS 4671 (500 MPa)			
BAR SIZE HD		10	12	16
LAP LENGTH (25 mpa)		450	600	900



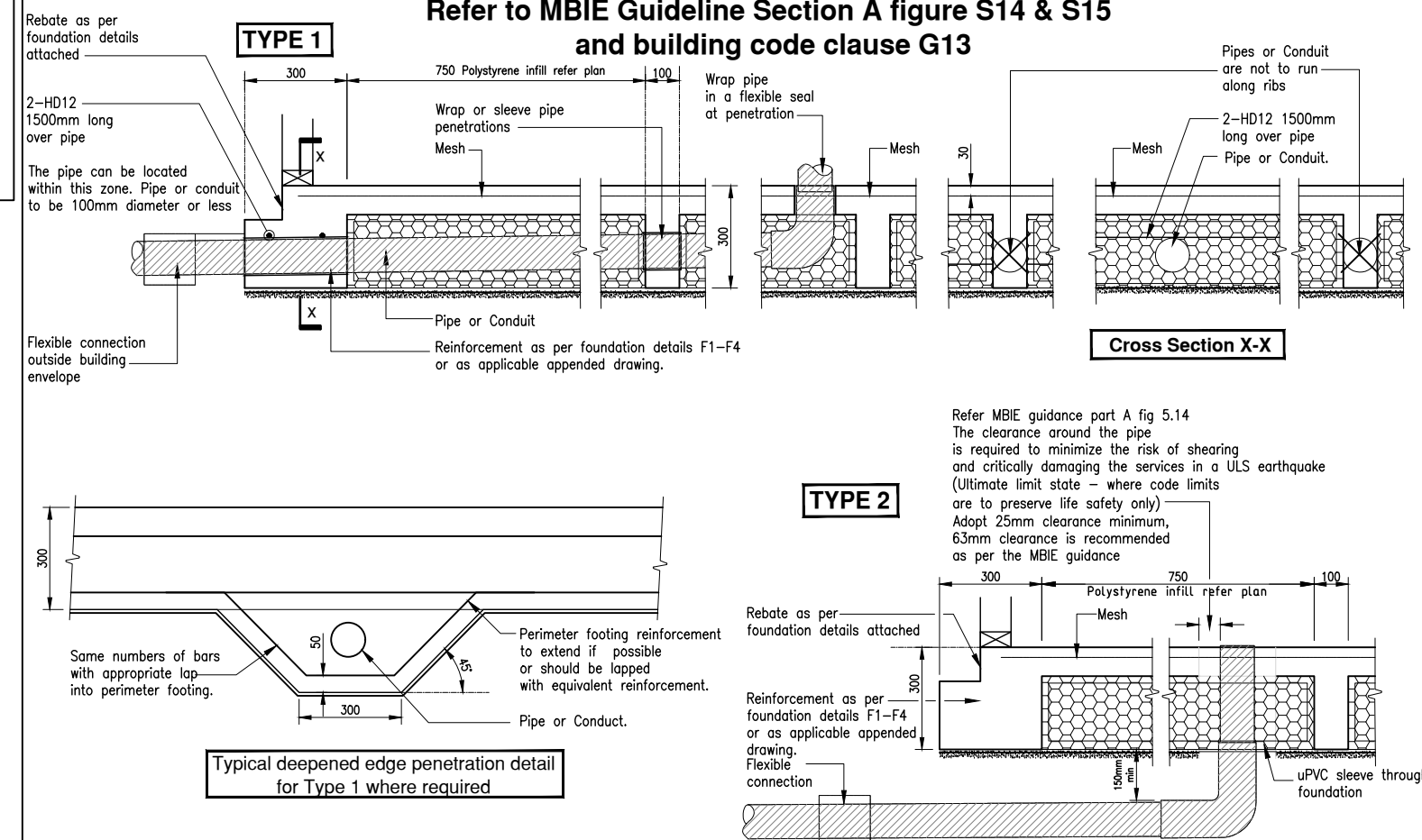
Typical Stiffening Detail

Typical Corner Laps Detail

Shower plan view

Typical Shower Recess Detail if shower rebate required

**Pipe Penetration Details For High Seismic Zones
Refer to MBIE Guideline Section A figure S14 & S15
and building code clause G13**



Cross Section X-X

TYPE 2

Refer MBIE guidance part A fig 5.14
The clearance around the pipe
is required to minimize the risk of shearing
and critically damaging the services in a ULS earthquake
(Ultimate limit state – where code limits
are to preserve life safety only)
Adopt 25mm clearance minimum,
63mm clearance is recommended
as per the MBIE guidance

A	04.03.2020	CONSENT ISSUE	JZ
REV	DATE	AMENDMENT	BY



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HFC GROUP OF COMPANIES. E: CHCH@HFC.CO.NZ P: 03 339 7000

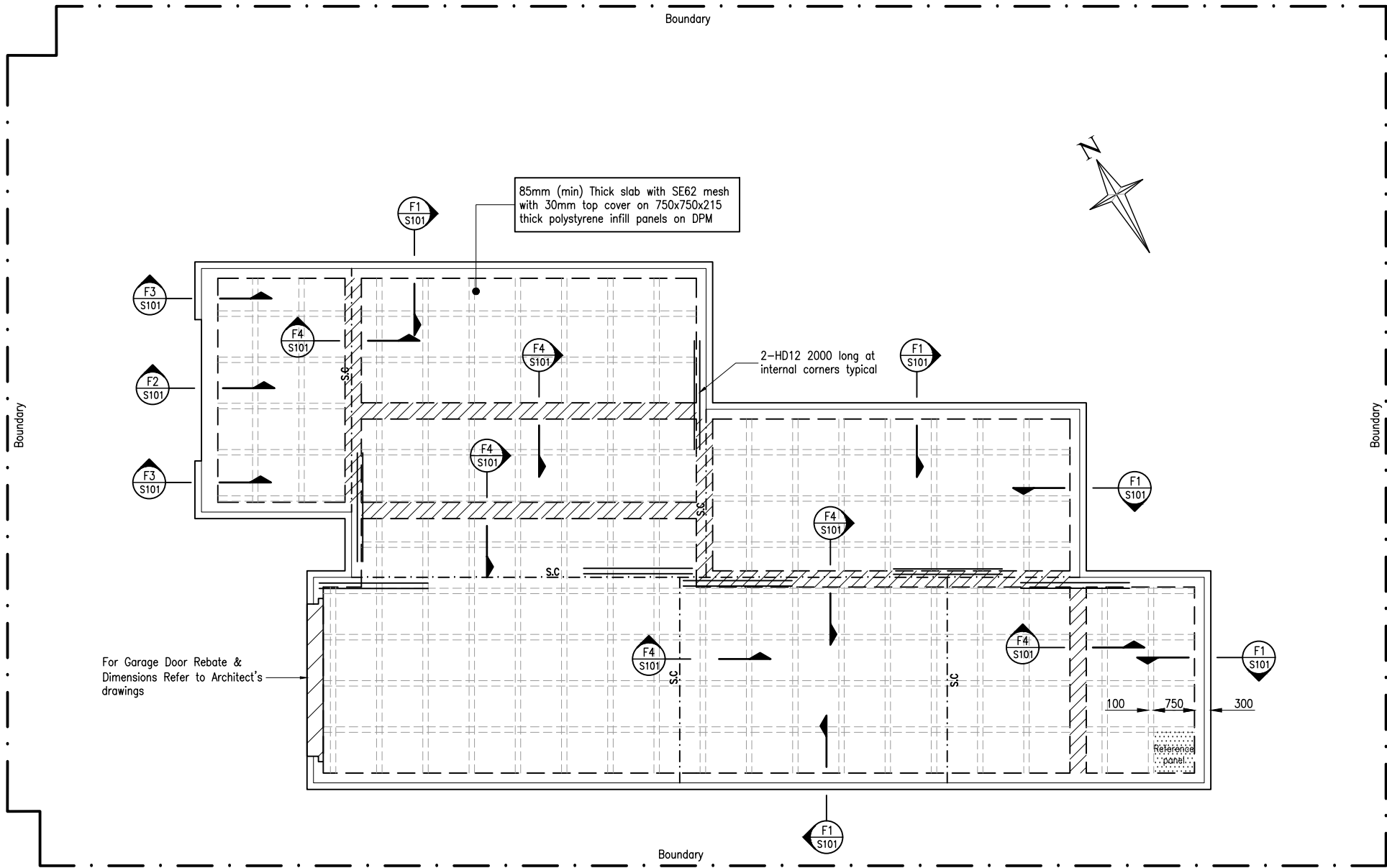
JOB TITLE

PROPOSED HOUSE AT
24 AWATERE STREET
PEGASUS
WAIMAKARIRI

DRAWING TITLE	GENERAL NOTES FOUNDATION
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DRAWING STATUS			
<div> <div>CONSENT</div> </div>			
SCALE @ A1	DATE	SHEET NO.	
NTS	04.03.2020	S99	
DRAWN	JZ		
DESIGNED	ML	JOB NO. 20-090	ISSUE A
CHECKED	TW		

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the
Building
Regulations 1992, Clause 3

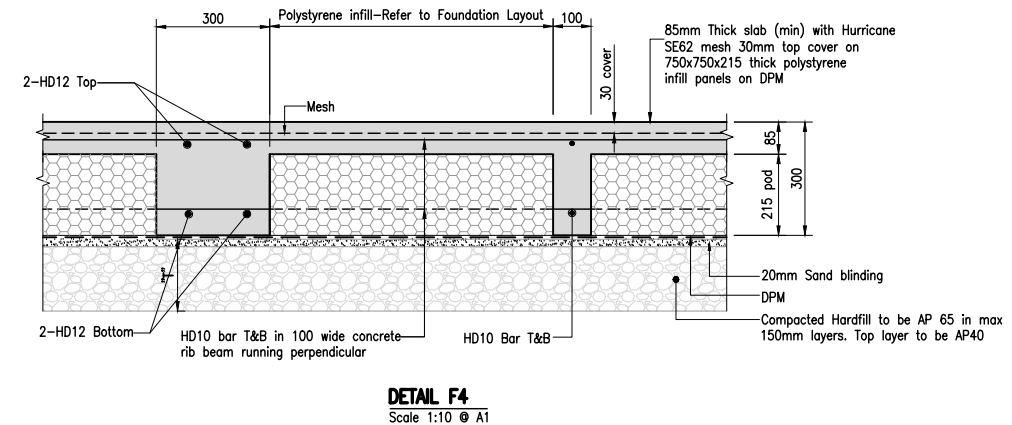
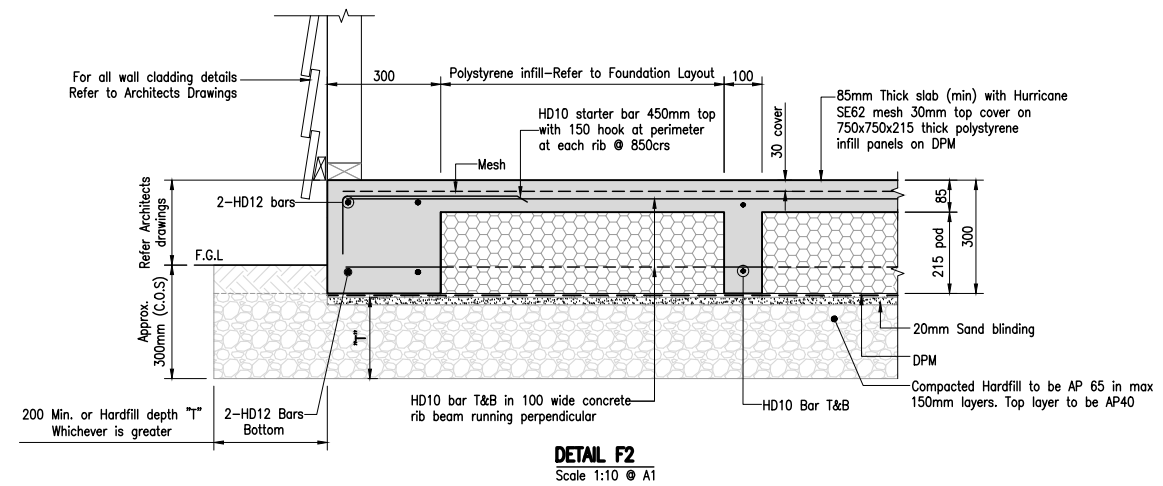



FOUNDATION LAYOUT

Approx. Slab Area = 139.15 m²
 SCALE 1:50 @ A1

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 Regulations 1992, Clause 3
 200253 1/04/2020 Chrisk

										REFER TO SHEET S99 FOR GENERAL NOTES AND INSPECTION REQUIREMENTS FOR FOUNDATIONS										DRAWING STATUS CONSENT							
<div><div><div>Point load</div><div></div><div>- INTERNAL STIFFENING BEAM OR THICKENING FOR POINT LOADS OR LOAD BEARING WALLS LARGER THAN 13 KN</div></div></div>										<div><div></div><div>DESIGN ISSUED BY HFC CIVIL & STRUCTURAL (SOUTH) LTD, PART OF THE HFC GROUP OF COMPANIES. E: CHCH@HFC.CO.NZ P: 03 339 7000</div></div>		JOB TITLE PROPOSED HOUSE AT 24 AWATERE STREET PEGASUS WAIMAKARIRI				DRAWING TITLE FOUNDATION LAYOUT TC2 WAFFLE SLAB				SCALE @ A1 1:50 @ A3 1:100		DATE 04.03.2020		SHEET NO. S100			
																				DRAWN		JZ					
																				DESIGNED		ML		JOB NO. 20-090		ISSUE A	
																				CHECKED		TW					
REV		DATE		AMENDMENT		BY																					
A		04.03.2020		CONSENT ISSUE		JZ																					



				<div>DRAWING STATUS</div> <div>CONSENT</div>						
					JOB TITLE	DRAWING TITLE	<div>SCALE @ A1 1:10</div> <div>@ A3 1:20</div> <div>DATE 04.03.2020</div> <div>SHEET NO.</div> <div>S101</div>			
					PROPOSED HOUSE AT 24 AWATERE STREET PEGASUS WAIMAKARIRI	FOUNDATION DETAIL TC2 WAFFLE SLAB	DRAWN	JZ		
							DESIGNED	ML	JOB NO.	ISSUE
							CHECKED	TW	20-090	A
A	04.03.2020	CONSENT ISSUE	JZ	<small>DESIGN ISSUED BY HFC CIVIL & STRUCTURAL (SOUTH) LTD, PART OF THE HFC GROUP OF COMPANIES. E: CHCH@HFC.CO.NZ P: 03 339 7000</small>						
REV	DATE	AMENDMENT	BY							



KAREN VAN DER MESPEL

ARCHITECTURAL DRAFTING

022 082 7730
karenvandermespel@gmail.com

Legal Description:

Lot 1460
 DP 479470
 Site area: 399m²
 Site coverage: 39.6%

Site Design Parameters:

Wind zone: High
 Earthquake zone: 2
 Corrosion zone: C
 Snow zone: N4

All paved areas as indicated on Site Plan to be exposed aggregate concrete.

Wash from exposed aggregate process is not to drain into the stormwater system.

190mm max step up at all doors

DRAWING TITLE:

Site Plan

DRAWING ISSUE:

Consent

PROJECT:

New House

CLIENT:

Tara Homes

ADDRESS:

24 Awatere Street
 Pegasus

DATE:

30/03/2020

FILE No:

20008

DRAWN:

KVDM

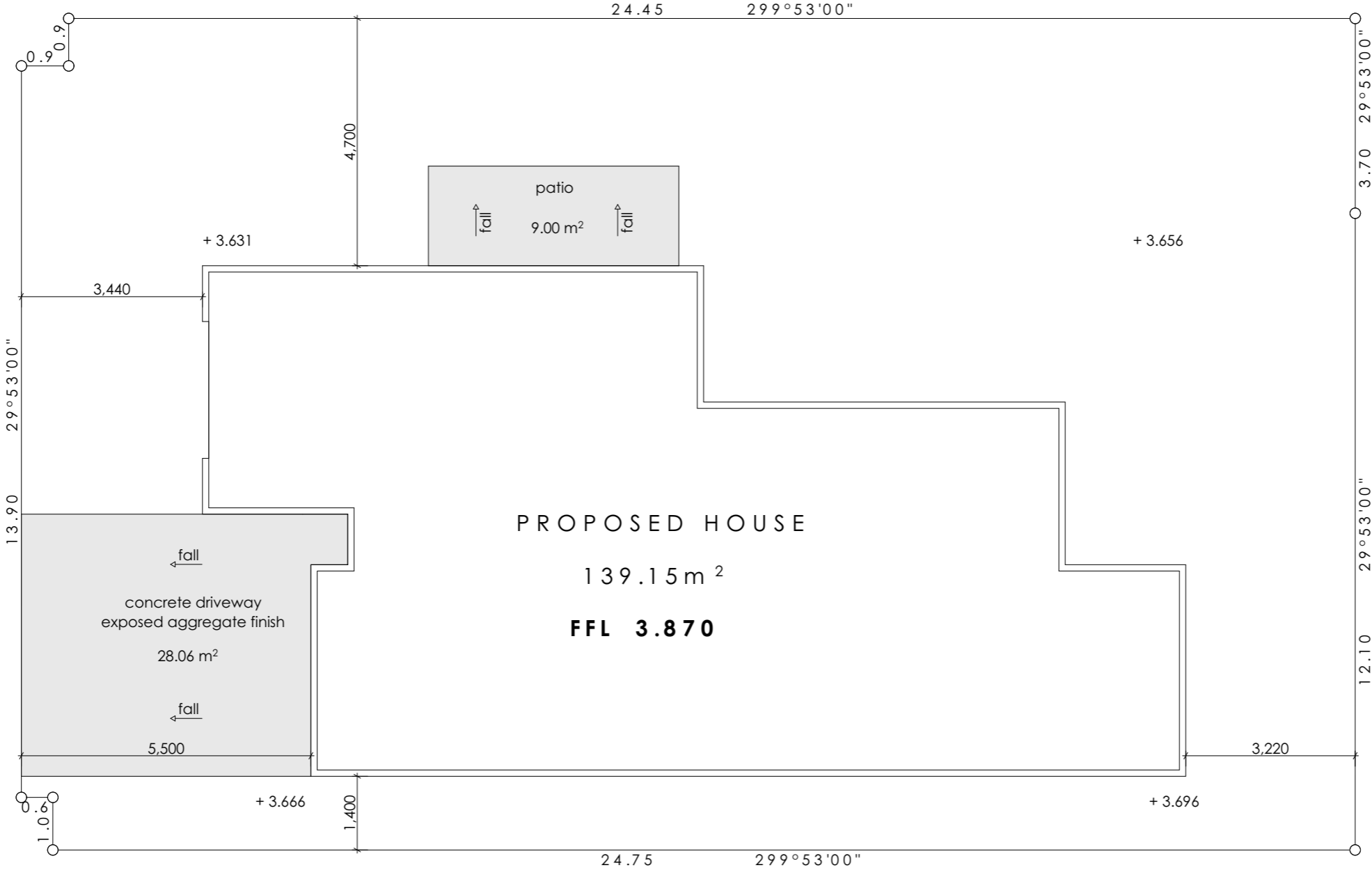
CHECKED:

SHEET No:

A.01

SCALE : 1:100 @ A3

AWATERE STREET



SITE PLAN
 1:100



Site Datum (NTS)
 RM91
 Corner Awatere & Tuaki Street
 R.L 2.881

Note: A Building Location Certificate (BLC) is Required to verify the setout of the Finished Floor Level Min FFL 3.85m LVD 1937 (Jan 2018) The builder is required to tie back this FFL to a known LINZ Survey Mark (revised in January 2018). Please check with your surveyor that referenced Benchmark Datum heights are correct.

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KAREN VAN DER MESPSEL

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Note:

Owner to confirm details of:

- Joinery
- Electrical
- Finishes
- Decoration
- Bathroom fittings
- Heat pump

See truss design for lintel sizes.

Tiled splashbacks to vanities & Kitchen & laundry benches with sealant to fitting junction.

3 coat waterbourne enamel paint finish to wet areas. Resene Spacecote Low Sheen Kitchen & Bathroom or similar.

Vinyl flooring to Kitchen, Bathroom & Ensuite floors.
 Seal underside skirting before fixing.

Downlights to be IC or IC-F rated.

Erect work site barriers where required to comply with NZBC F5.

Electric lighting to provide 20 lux min illuminance at floor level as per table 1, G8/AS1

Hot water cylinder to be 250L mains pressure

Hot and cold water to be run in polybutylene pipework

- ⊕sd smoke alarm to NZBC F7 with test and hush buttons
- ⊗fv Manrose SF125 extract fan with ducting to soffit outlet

DRAWING TITLE:

Floor Plan

DRAWING ISSUE:

Consent

PROJECT:

New House

CLIENT:

Tara Homes

ADDRESS:

24 Awatere Street
 Pegasus

DATE:

30/03/2020

FILE No:

20008

DRAWN:

KVDM

CHECKED:

SHEET No:

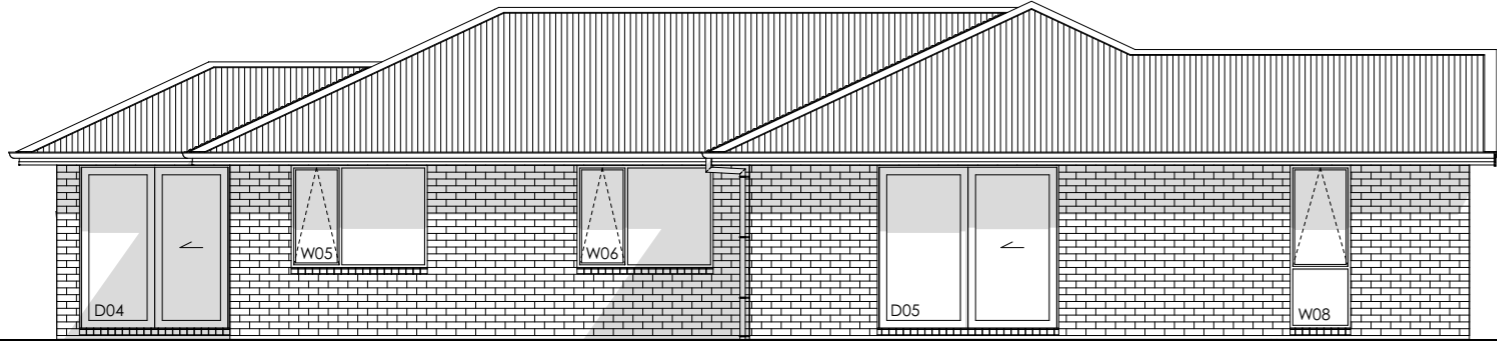
A.02

R1

SCALE : 1:100 @ A3

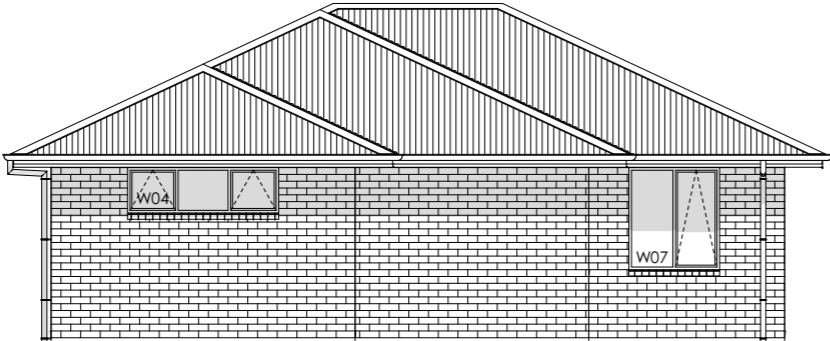


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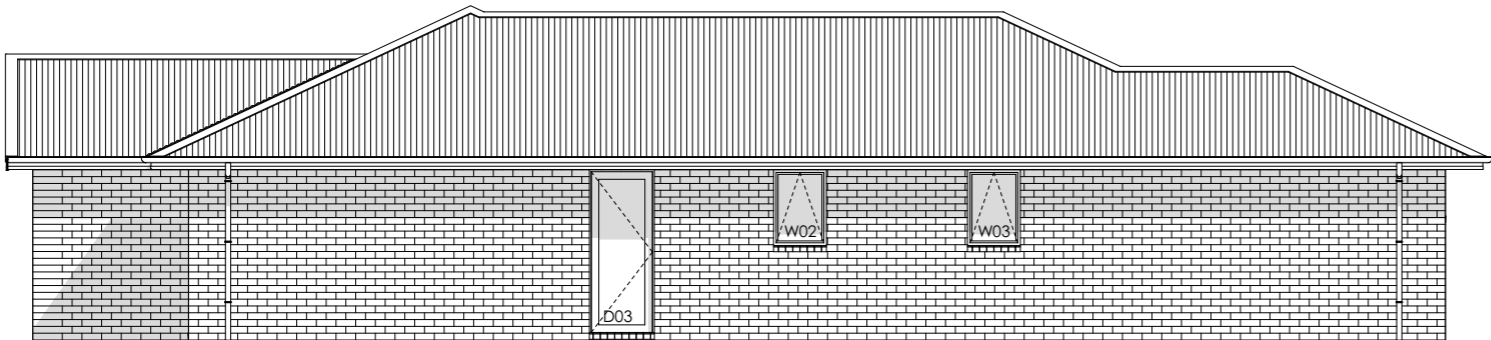
NORTH ELEVATION
 1:100

BUILDING ENVELOPE RISK MATRIX		
North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		2



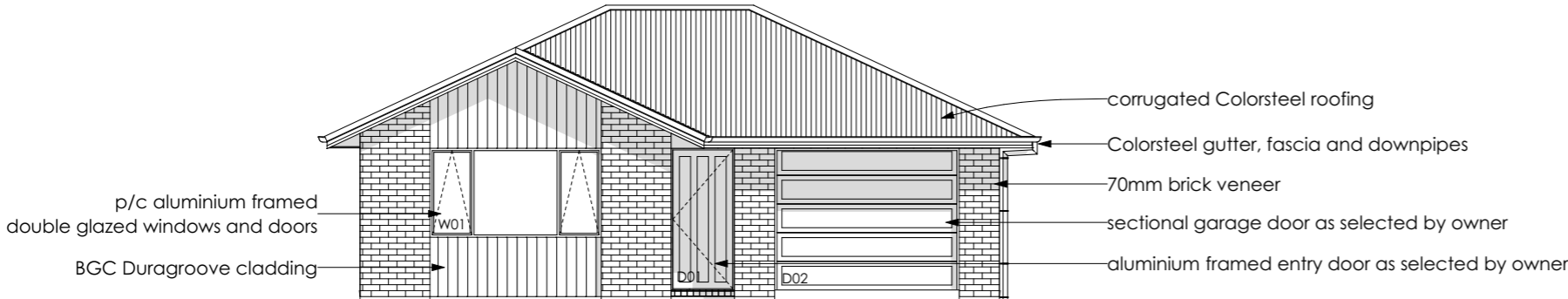
EAST ELEVATION
 1:100

BUILDING ENVELOPE RISK MATRIX		
East Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		2



SOUTH ELEVATION
 1:100

BUILDING ENVELOPE RISK MATRIX		
South Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		2



WEST ELEVATION
 1:100

BUILDING ENVELOPE RISK MATRIX		
West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4

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DRAWING TITLE:

Elevations

DRAWING ISSUE:

Consent

PROJECT:

New House

CLIENT:

Tara Homes

ADDRESS:

24 Awatere Street
 Pegasus

DATE:

30/03/2020

FILE No:

20008

DRAWN:

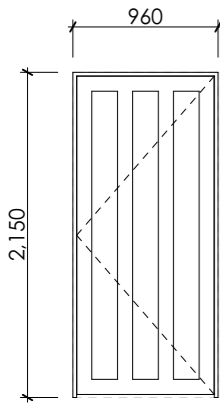
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CHECKED:

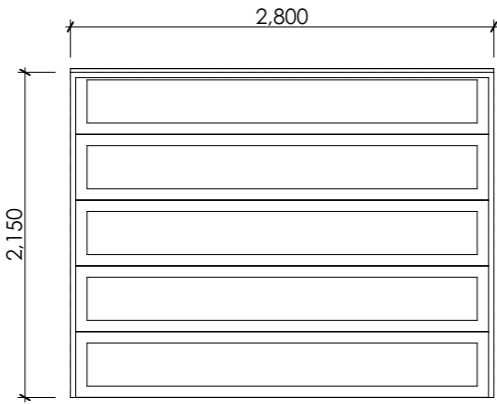
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A.03

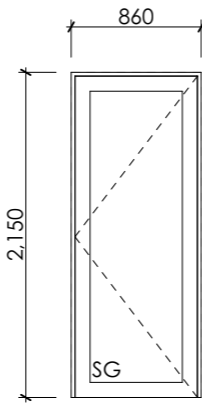
SCALE : 1:100 @ A3



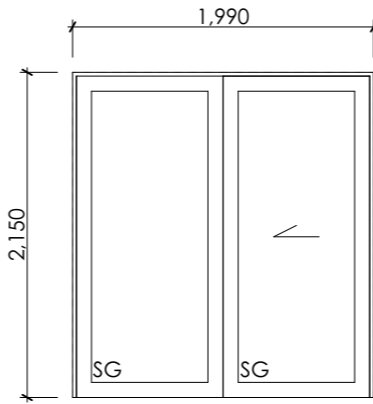
D01



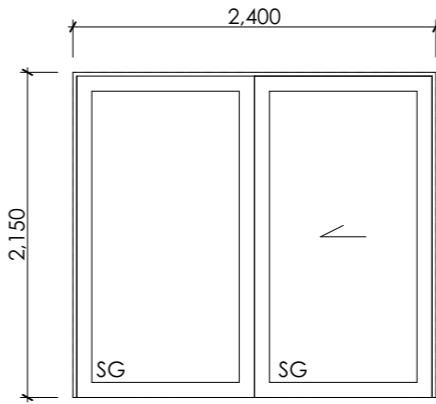
D02



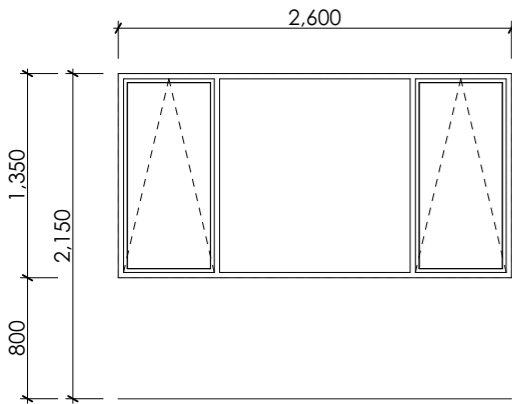
D03



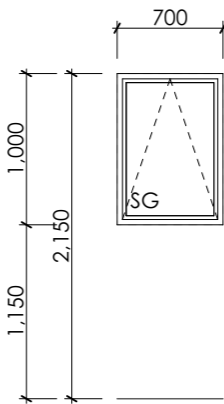
D04



D05

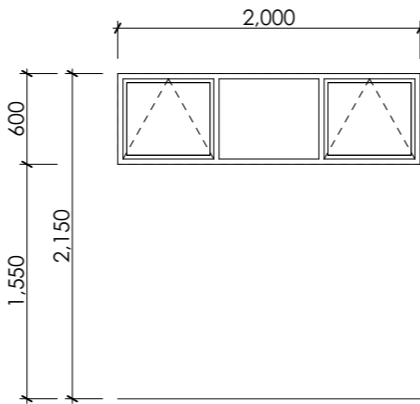


W01

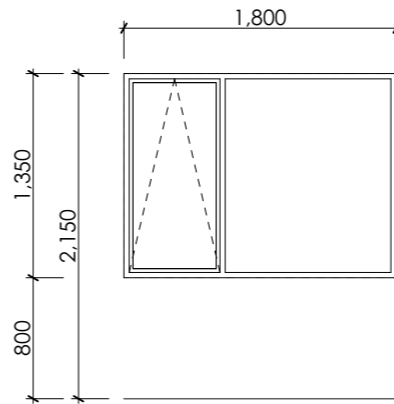


W02, W03

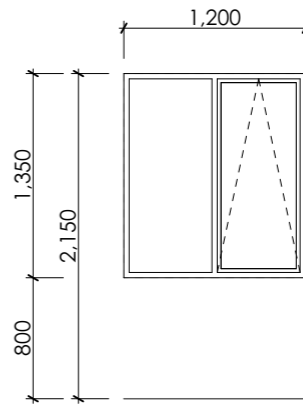
obscure glass



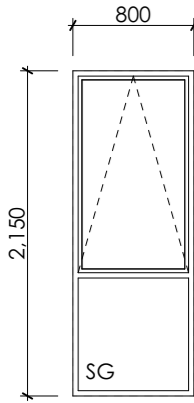
W04



W05, W06



W07



W08

WINDOW & DOOR SCHEDULE
 1:50

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- Aluminium Doors & Windows:**
- Aluminium door and window finish shall be **Powdercoated**
 - Colour shall be confirmed with client prior to fabrication
 - All glazing to be **clear double glazed** unless stated otherwise
 - All aluminium joinery shall comply with NZS 4211:2008
 - Refer also to the floor plan for opening directions

- Safety Glass:**
- All glazing shall comply with NZS 4223:2016 part 3
 - Panes shown with 'SG' shall be allowed as Grade A Safety Glass

- Flashings:**
- The window supplier shall supply all aluminium head and sill flashings as required for installation. Allow to site measure for flashings

- Support Brackets:**
- Where support brackets are required the window supplier shall allow for these and supply ready for installation
 - Support brackets shall generally be required full length of full height doors and windows, and in 300mm lengths below windows otherwise

DRAWING TITLE:	
Window and Door Schedule	
DRAWING ISSUE:	
Consent	
PROJECT:	
New House	
CLIENT:	
Tara Homes	
ADDRESS:	
24 Awatere Street Pegasus	
DATE: 30/03/2020	SHEET No: A.04
FILE No: 20008	
DRAWN: KVDM	
CHECKED:	
SCALE : 1:50 @ A3	



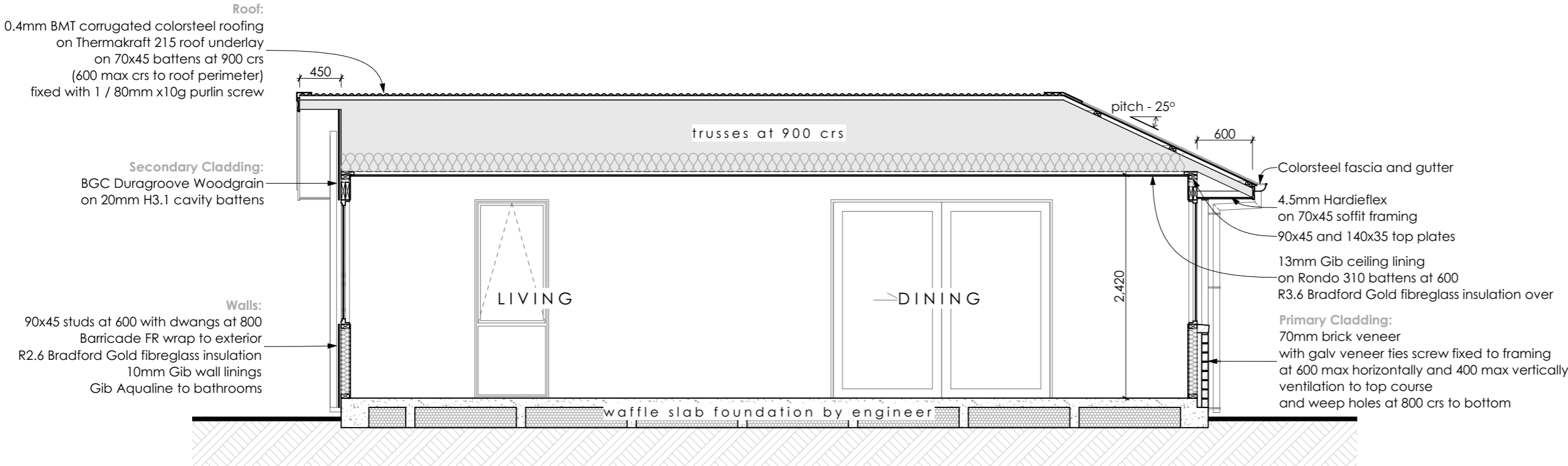
KAREN VAN DER MESPEL

ARCHITECTURAL DRAFTING

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karenvandermespel@gmail.com

All structural timber to be SG8 min	
Timber treatment:	
All enclosed framing to be treated to H1.2 min	
Valley boards, window reveals and cavity battens to be H3.1 min	
Insulation	
Roof:	R3.6 fibreglass batts
Walls:	R2.6 fibreglass batts
Floor:	Waffle slab achieves R1.4 approx



SECTION A - A
 1:50

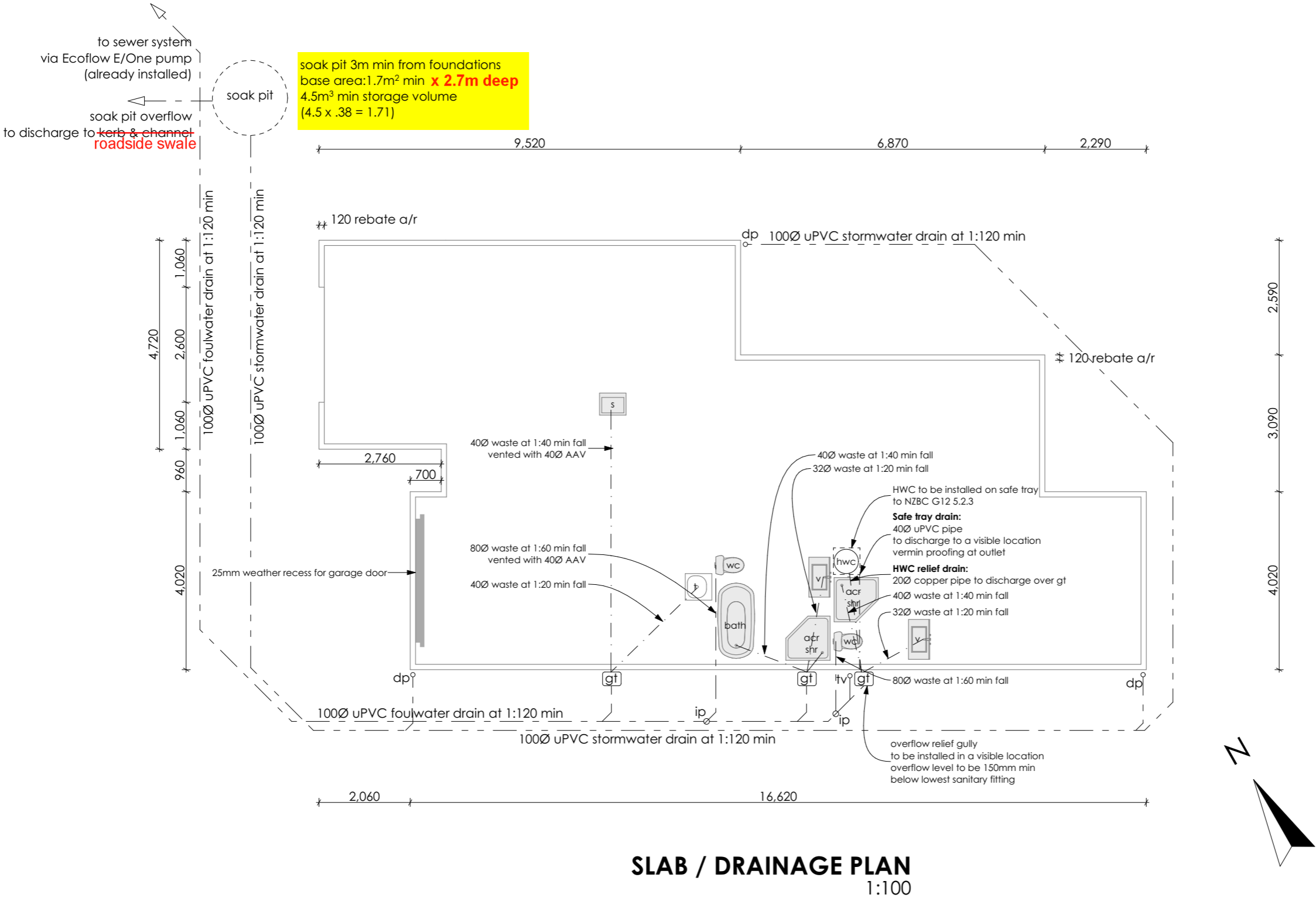
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All uPVC wastes, traps and vents to comply with NZBC G13/AS1

Wastes:
 vanity: **32Ø at 1:20 min**
 sink, shower, bath: **40Ø at 1:40 min**
 tub: **40Ø at 1:30 min**
 wc: **100Ø at 1:60**
 tv: **80Ø**



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DRAWING TITLE:		Slab / Drainage Plan	
DRAWING ISSUE:		Consent	
PROJECT:		New House	
CLIENT:		Tara Homes	
ADDRESS:		24 Awatere Street Pegasus	
DATE:	1/04/2020	SHEET No: A.06	R1
FILE No:	20008		
DRAWN:	KVDM		
CHECKED:			
SCALE : 1:100 @ A3			

Bracing is shown:



BLG-H Gib Braceline one side
Gib Standard other side,
with Gib Handibrac hold
downs

AP2 7mm H3.2 ply one side,
with Gib Handibrac hold
downs

DRAWING TITLE:

DRAWING ISSUE:

PROJECT:

CLIENT:

ADDRESS:

DATE:

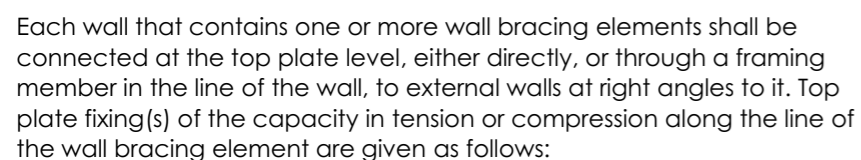
FILE No:

DRAWN:

SHEET No:

R2

SCALE : 1:100 @ A3



(b) For each wall containing wall bracing elements with a total bracing capacity of not more than 250 bracing units: to at least 2 external walls by fixings each of 6 kN capacity.

WAIMAKARIRI DISTRICT COUNCIL
AMENDED Plan and/or Specifications APPROVED
BC200253.02 29/06/2020 Brendam
Revise wall bracing



KAREN VAN DER MESPEL

ARCHITECTURAL DRAFTING

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karenvandermespel@gmail.com

Roof:

0.4mm BMT corrugated Colorsteel roofing

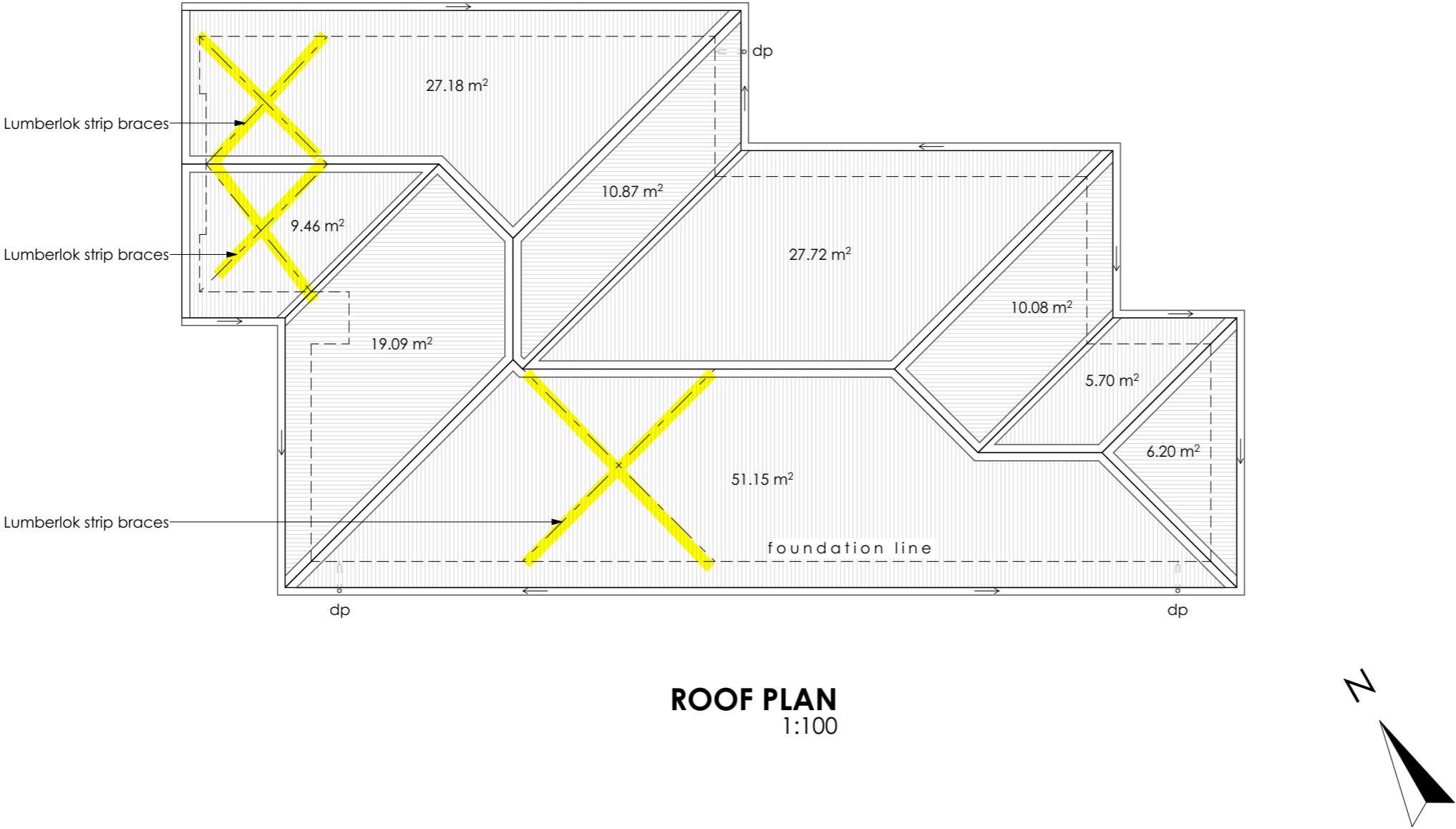
pitch - 25°

Colorsteel gutter and fascia

8000mm² min cross sectional area of gutter

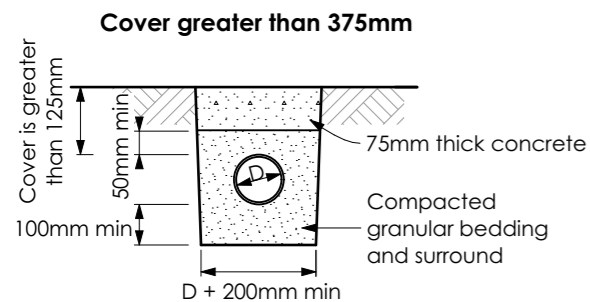
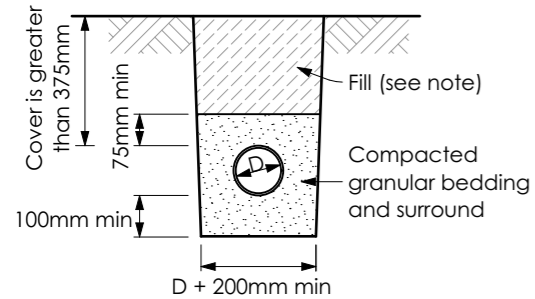
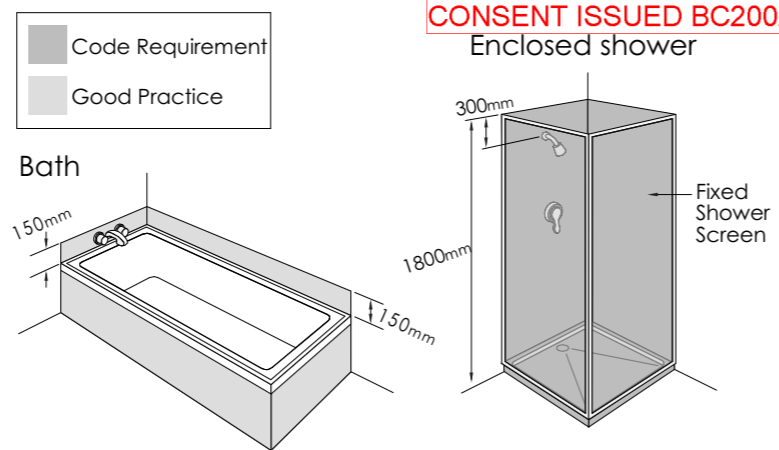
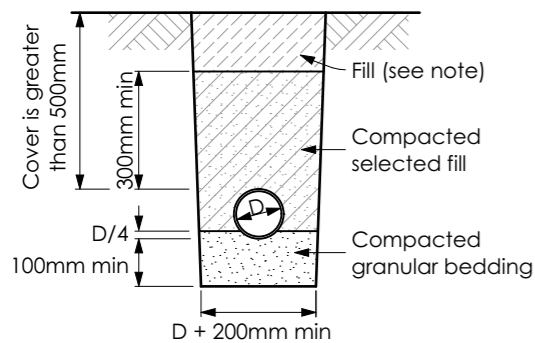
80Ø colorsteel downpipes from 70m² max roof area

Roofing to be fixed through crests with min 12 gauge roofing screws with neoprene washers with C2 fixing pattern (Hit 1, miss 1, hit 1, miss 2...)



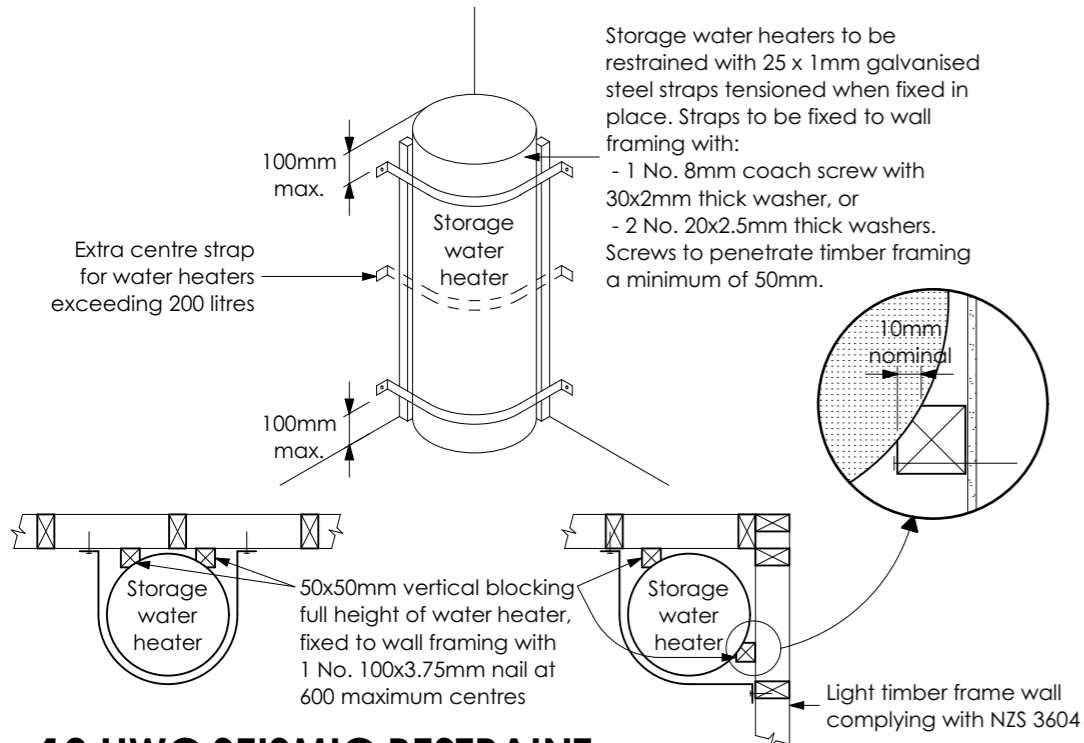


KAREN VAN DER MESPSEL
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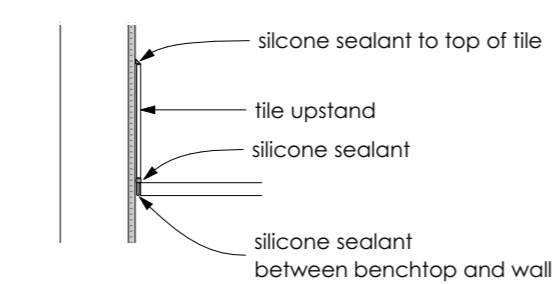
NOTE:
 Fill shall be
 - Ordinary fill where drains are located below gardens and open country
 - Compacted selected fill where the drains are located below residential driveways and similar areas subject to light traffic

9 DRAIN BEDDING & BACKFILLING

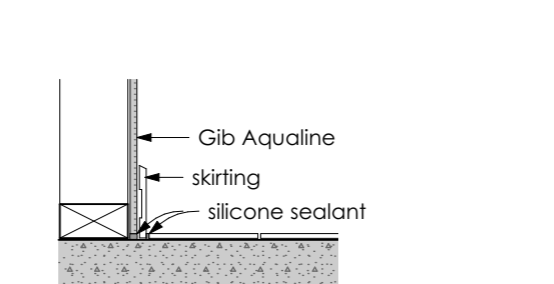


10 HWC SEISMIC RESTRAINT

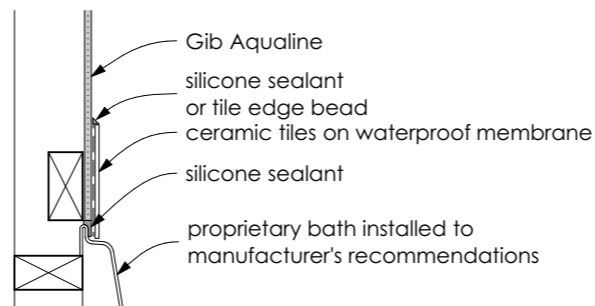
1 AREAS REQUIRING IMPERVIOUS SHEET LINING OR WPM UNDER TILES



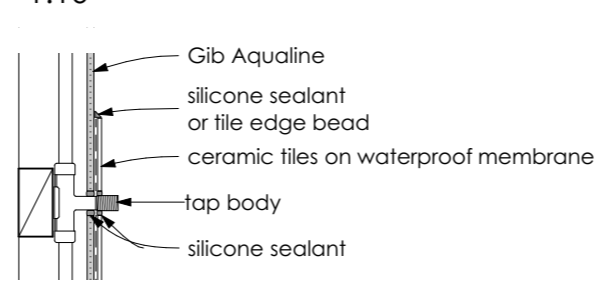
2 VANITY / BENCH - WALL



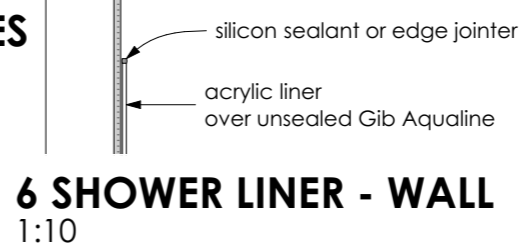
3 WET AREA FLOOR - WALL



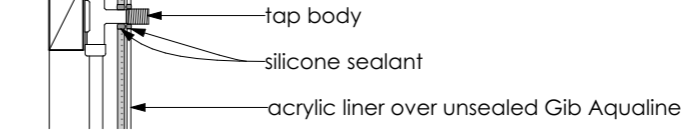
4 BATH - WALL



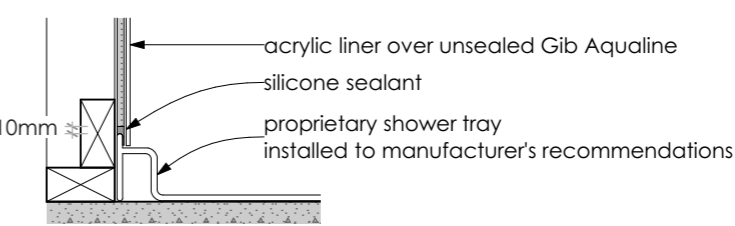
5 BATH TAP PENETRATION



6 SHOWER LINER - WALL

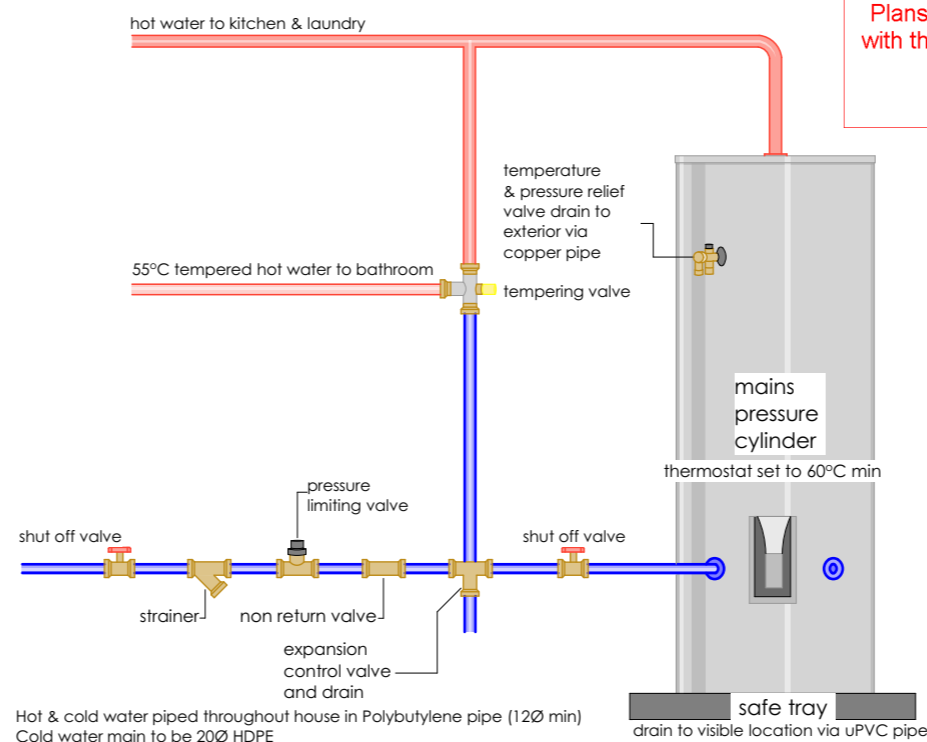


7 SHOWER MIXER PENETRATION



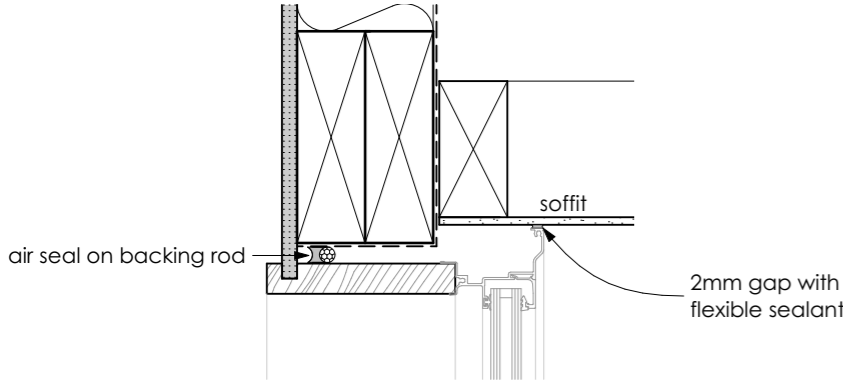
8 SHOWER BASE

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 200253 1/04/2020 Chrisk

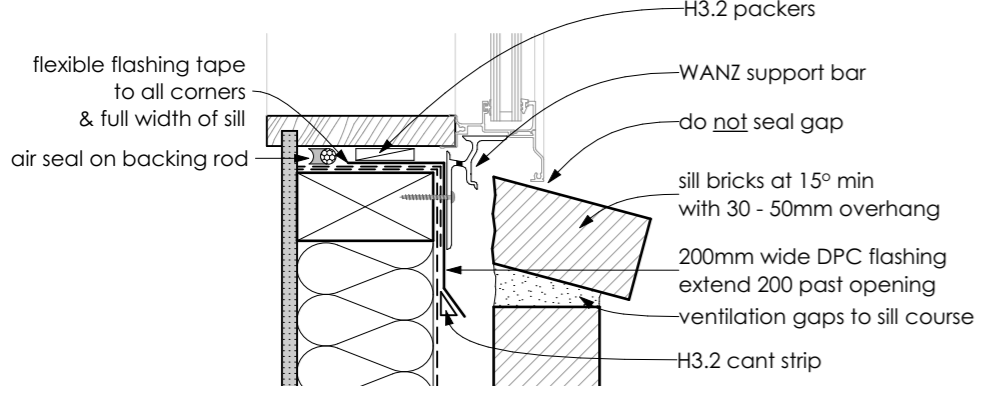


11 HWC SCHEMATIC

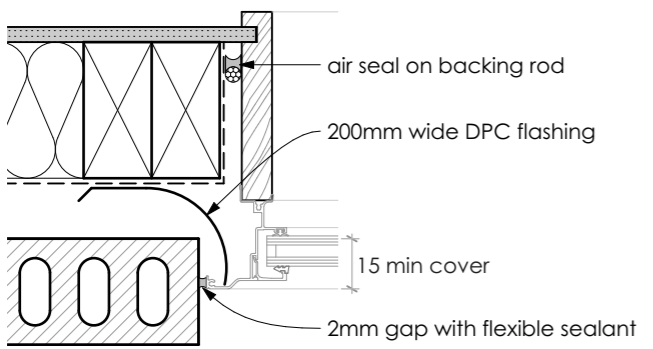
DRAWING TITLE:	
Plumbing and wet area details	
DRAWING ISSUE:	
Consent	
PROJECT:	
New House	
CLIENT:	
Tara Homes	
ADDRESS:	
24 Awatere Street Pegasus	
DATE:	SHEET No: A.09
30/03/2020	
FILE No:	
20008	
DRAWN:	
KVDM	
CHECKED:	
SCALE : 1:10, 1:20 @ A3	



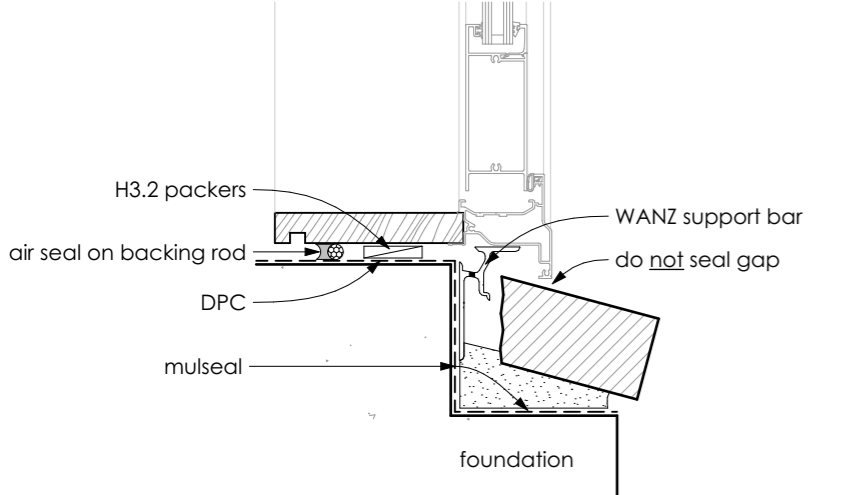
12 WINDOW HEAD
1:5



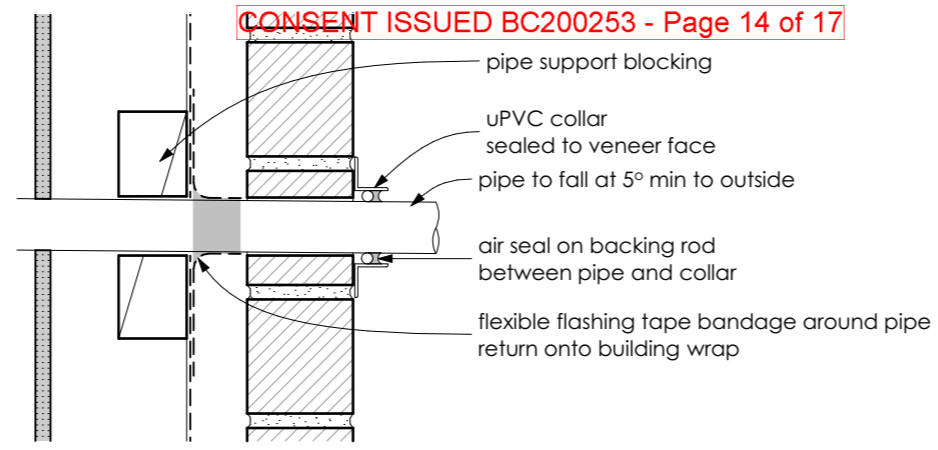
13 WINDOW SILL
1:5



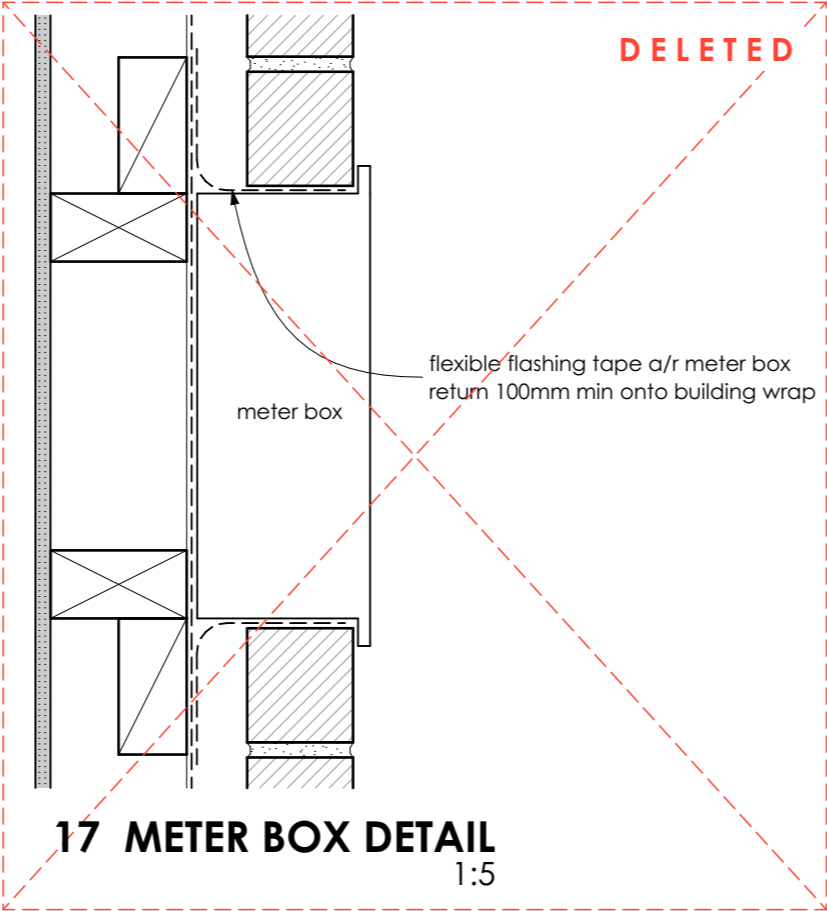
14 WINDOW JAMB
1:5



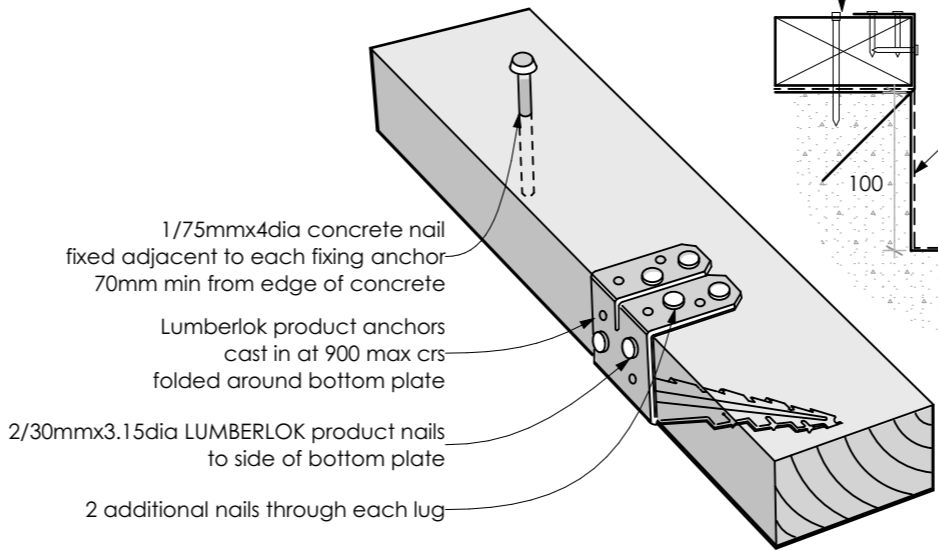
15 DOOR SILL
1:5



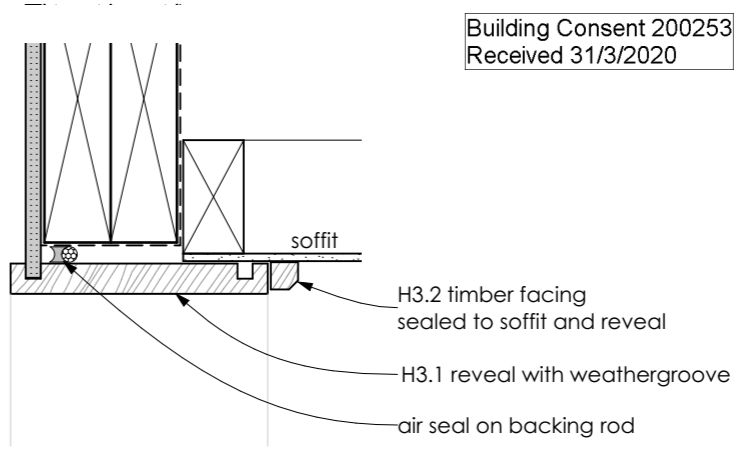
16 PIPE THROUGH WALL
1:5



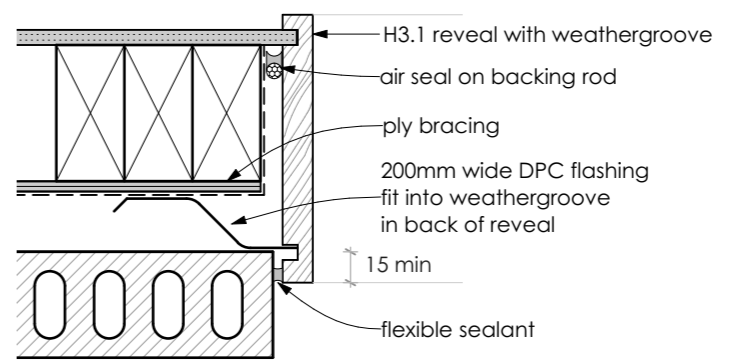
17 METER BOX DETAIL
1:5



18 CLADDING BASE & BOTTOM PLATE FIXING
1:5

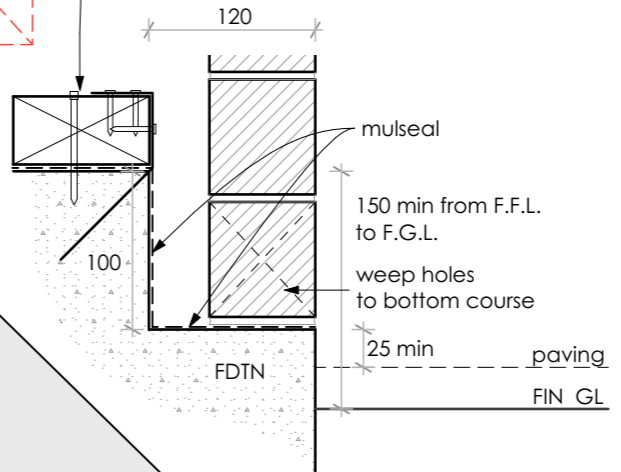


19 GARAGE DOOR HEAD
1:5



20 GARAGE DOOR JAMB
1:5

bottom plate fixed over DPC with Lumberlok bottom plate fixing anchors cast in at 900 max crs
6/30mmx3.15dia nails to bottom plate per anchor
1/75mmx4dia concrete nail through bottom plate adjacent to each fixing anchor



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Building Consent 200253
Received 31/3/2020

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DRAWING TITLE: Cladding Details	
DRAWING ISSUE: Consent	
PROJECT: New House	
CLIENT: Tara Homes	
ADDRESS: 24 Awatere Street Pegasus	
DATE: 30/03/2020	SHEET No: A.10 <



DRAWING TITLE:	
Cladding Details	
DRAWING ISSUE:	
Consent	
PROJECT:	
New House	
CLIENT:	
Tara Homes	
ADDRESS:	
24 Awatere Street Pegasus	
DATE:	SHEET No: A.11
30/03/2020	
FILE No:	
20008	
DRAWN BY:	
KVDM	
CHECKED:	
SCALE : 1:5, 1:10 @ A3	

A.11

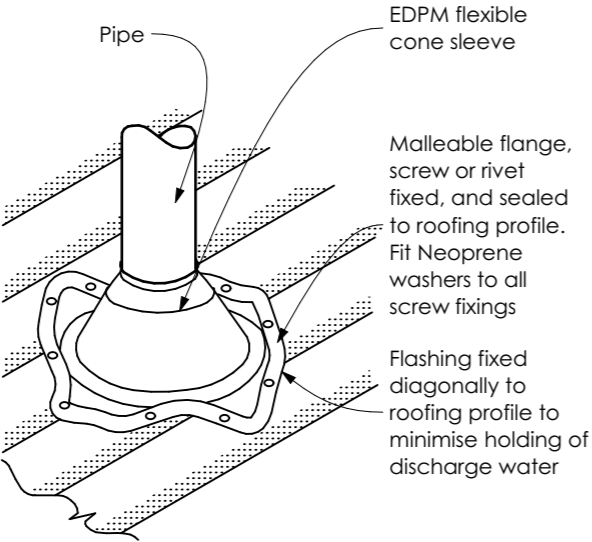
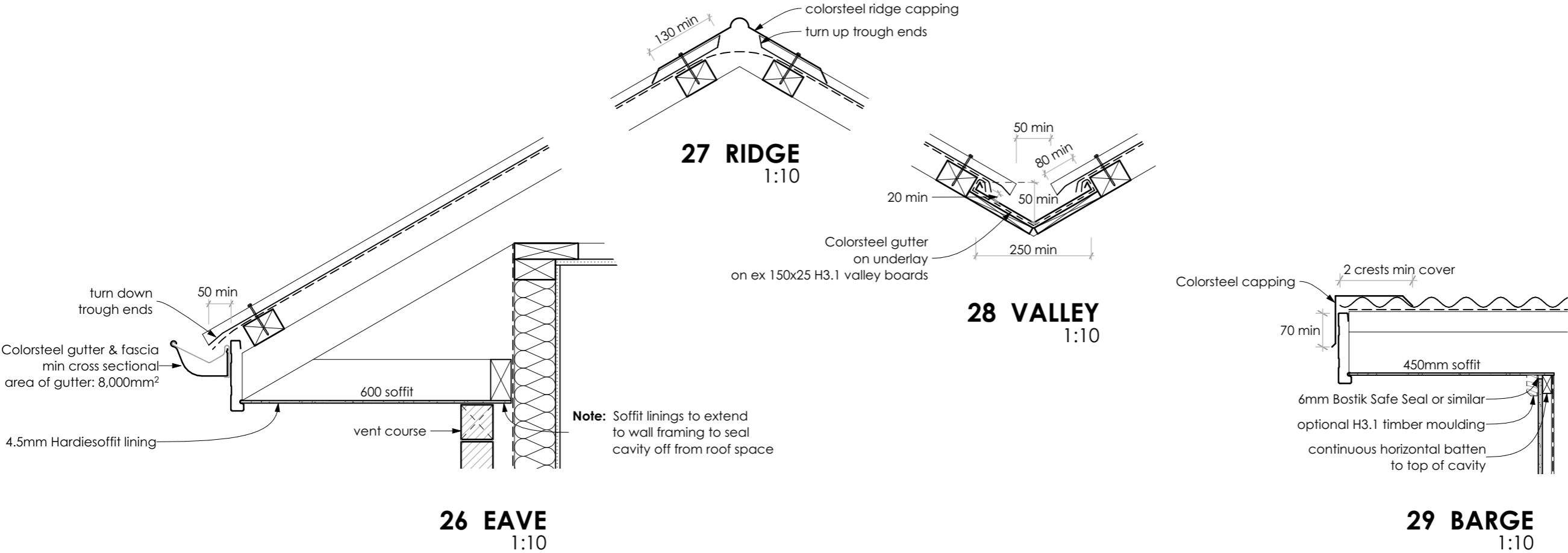


KAREN VAN DER MESPEL

ARCHITECTURAL DRAFTING

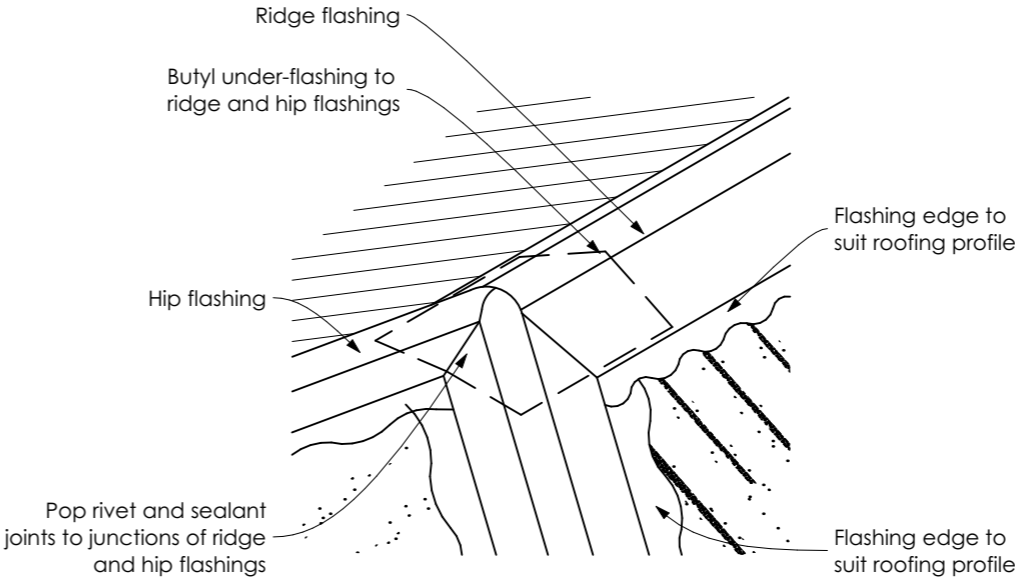
022 082 7730

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For pipes up to 85mm diameter

30 VENT PIPE THROUGH ROOF
 1:10



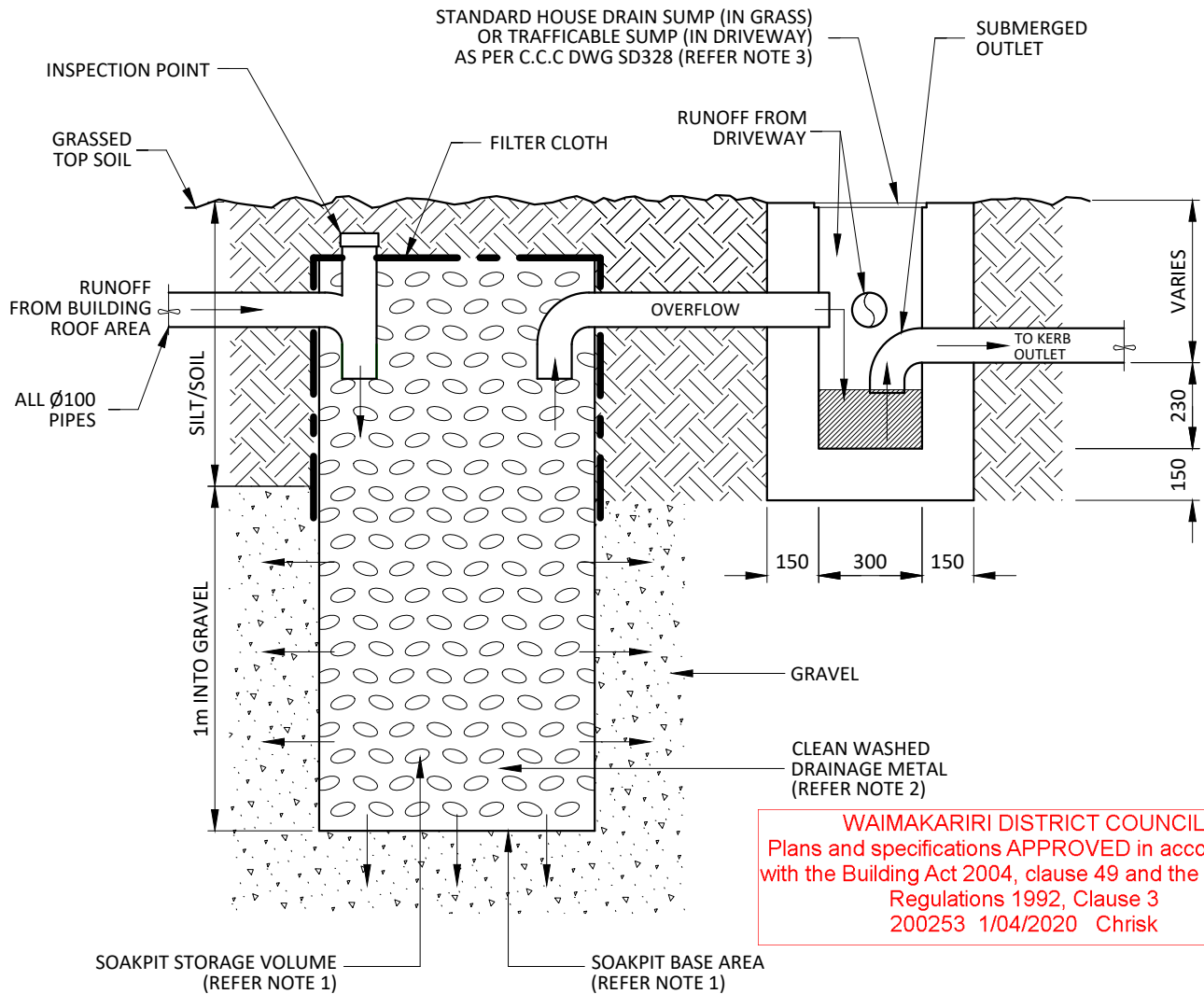
31 RIDGE - HIP FLASHING
 1:10

WAIMAKARIRI DISTRICT COUNCIL

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200253 1/04/2020 Chrisk

DRAWING TITLE:		Roof Details	
DRAWING ISSUE:		Consent	
PROJECT:		New House	
CLIENT:		Tara Homes	
ADDRESS:		24 Awatere Street Pegasus	
DATE:	30/03/2020	SHEET No:	A.12
FILE No:	20008		
DRAWN:	KVDM		
CHECKED:			
SCALE : 1:10 @ A3			



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Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
200253 1/04/2020 Chris

NOTES:

1. SOAK PIT SIZING - PROVIDE 1m² OF BASE AREA PER 100m² OF ROOF AREA AND 2m³ OF STORAGE VOLUME PER 100m² OF ROOF AREA (ALLOW 0.38 FACTOR FOR VOID SPACE) OR ALTERNATIVELY PROVIDE FULL DESIGN CALCULATIONS IN ACCORDANCE WITH VERIFICATION METHOD E1/VM1 SECTION 9.
2. CLEAN WASHED DRAINAGE METAL - TO BE EITHER TAILINGS 20mm-40mm, ROUNDS 40mm-65mm, BOULDERS 65mm-120mm, ROCKS 100mm-150mm OR SIMILAR.
3. A HOUSE DRAIN SUMP OR SMALL TRAFFICABLE SUMP IS ONLY REQUIRED WHERE RUNOFF FROM THE DRIVEWAY IS CONNECTED TO THE OUTLET PIPE (REFER INDICATIVE LAYOUT DIAGRAMS BELOW).

